

5 Section

DEVELOPMENT STANDARDS

5.1 INTRODUCTION

This Section contains Development Standards governing the principal physical components of the Azusa Pacific University campus: new and existing buildings, circulation, open space, landscape, and utilities improvements within the Specific Plan Area. This section amends and supplements the City of Azusa Municipal code and is intended to be regulatory in nature.



Construction site

The Development Standards implement the planning and design concepts provided in this document. The Standards are consistent with and implement the Vision, Guiding Principles, Goals, and Objectives defined in Section 3. This Specific Plan will be adopted as an ordinance by the City of Azusa making the Design Guidelines and Development Standards mandatory. The Standards address eight design issue areas: Land Use; Building Envelopes; Open Space; Landscape; Fences and Walls; Circulation and Parking; Service and Mechanical Equipment areas; lighting; and Signage.

It is noted that there may be minor adjustments to the boundaries shown in Exhibits 5A through 5E to allow for the precise layout of buildings, facilities, parking, roads and open spaces, provided that the fundamental inter-relationships among the land uses and open spaces are maintained.

All Standards shall meet or exceed the development standards in the City of Azusa Municipal Code except as noted herein.

5.2 LAND USES

5.2.1 Land Use Categories

Five land uses are defined for current and new development within the Specific Plan area:

- **Academic/Administration**—Facilities serving directly academic and academic support functions including classrooms, labs,

libraries, administrative offices, and community oriented retail

- **Residential/Recreational**—Facilities serving student-related nonacademic purposes such as student residences, dining, assembly, and student union
- **Circulation, Parking, and Service**—On-site circulation facilities including roadways, surface parking, parking structures and building service areas
- **Physical Education/Athletics**—Enclosed and outdoor facilities specifically supporting the University’s formal and informal athletic program, including indoor and outdoor physical education facilities and support facilities
- **Open Space**—General Open Space, Public Edge Open Space, and Property Line Buffers; outdoor athletics land use areas are also considered open space

The locations of each use within the Specific Plan Area are defined in Exhibit 5A, proposed Land Use Plan. (Note: this diagram is identical to Exhibit 4A and is included in this section for convenience and clarity.)

5.2.2 Permitted Uses within Each Land Use District

The following defines the permitted and permitted accessory uses for each land use district within the APU Specific Plan Area. A permitted use is any use allowed in the district by right and subject to the development standards; permitted accessory use is a portion of land or building that is customarily and clearly incidental and subordinate to the principal use of the land and building and is located on the same lot with such principal use. Any event, facility, or auditorium use that provides more than 500 seats and is open to the public may require Planning Commission Design Review at the discretion of the City’s Economic and Community Development Director. Temporary structures such as

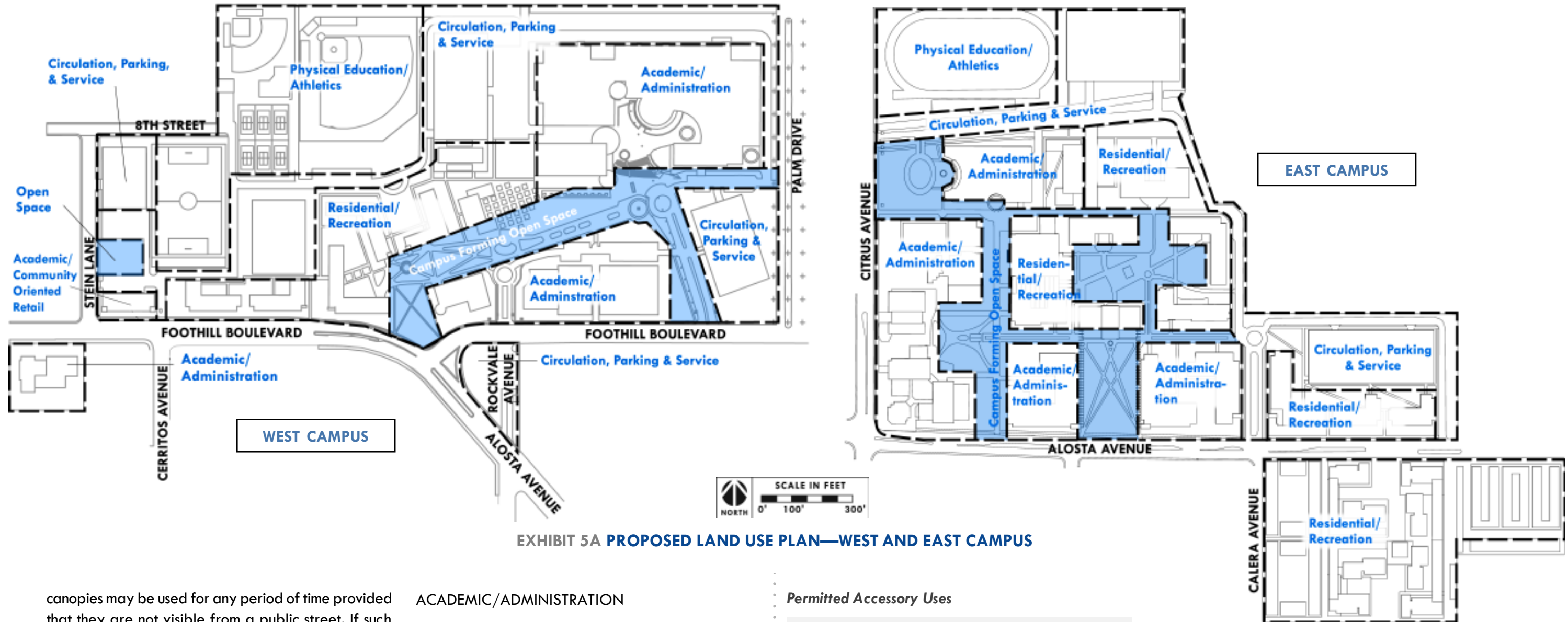


EXHIBIT 5A PROPOSED LAND USE PLAN—WEST AND EAST CAMPUS

canopies may be used for any period of time provided that they are not visible from a public street. If such temporary structures are visible from a public street, they can only be used for periods not to exceed two weeks in conjunction with athletic, community, or university-sponsored events.

The building proposed for the northeast corner of Stein Lane and Foothill Boulevard is a 40,000-square foot 3-story structure to accommodate university and university tenants, providing space for community oriented commercial/retail services to both the student population and the surrounding community. No more than 40 percent of the retail floor area shall be fast food.

ACADEMIC/ADMINISTRATION

Permitted Uses

- Classrooms
- Laboratories
- Lecture Halls
- Auditoriums
- Administrative, Faculty, and Staff Offices
- Libraries
- Assembly Facilities

Permitted Accessory Uses

- Dining and Food Service
- Incidental Storage
- Event Facilities
- Accessory building and uses customarily incident to the primary uses
- Additional uses are permitted if determined by the Economic and Community Development Director to be consistent with the district and the purpose of the Specific Plan.

ACADEMIC/COMMUNITY-ORIENTED RETAIL

Permitted Uses (with a Minor Use Permit)

- Bookstore
- Coffee/juice
- Ice cream
- Photocopy/graphics
- Clothing

- Electronics/computers
- Food (No more than 40 percent of the floor area shall be fast food)

RESIDENTIAL/RECREATION

Permitted Uses

- Student and Employee Residences
- Dining and Food Service
- Indoor and Outdoor Recreational Facilities and Playing Fields
- Assembly Facilities
- Study Areas

Permitted Accessory Uses

- Ancillary Academic Facilities
- Ancillary Parking and Services Facilities
- Accessory building and uses customarily incident to the primary uses
- Additional uses are permitted if determined by the Economic and Community Development Director to be consistent with the district and the purpose of the Specific Plan.

CIRCULATION, PARKING AND SERVICE

Permitted Uses

- Surface Parking
- Structure Parking Facilities
- Maintenance Yards and Facilities
- Sidewalks Related to Circulation Facilities
- Bike Paths

- Loading Areas
- Storage Facilities

Permitted Accessory Uses

- Pedestrian Bridge
- Major Utility Facilities
- Accessory building and uses customarily incident to the primary uses
- Retail Uses (first floor street level—parking structure)
- Offices (first floor street level—parking structure)
- Athletic Dressing Rooms (first floor street level—parking structure)
- Additional uses are permitted if determined by the Economic and Community Development Director to be consistent with the district and the purpose of the Specific Plan.

PHYSICAL EDUCATION/ATHLETICS

Permitted Uses

- Gymnasium
- Event Center
- Dressing Rooms
- Swimming Pool
- Physical Education Facilities
- Athletic Stadium
- Athletic Fields
- Ball Courts

Permitted Accessory Uses

- Pedestrian-Oriented, Passive Recreational and Visual Open Space
- Major Utility Facilities
- Food Services for concession stands
- Accessory building and uses customarily incident to the primary uses
- Additional uses are permitted if determined by the Economic and Community Development Director to be consistent with the district and the purpose of the Specific Plan.

It should be noted that outdoor athletic land use areas (i.e., athletic fields) are also considered open space.

OPEN SPACE

Permitted Uses

- Pedestrian-Oriented, Passive Recreational Open Space
- Visual Open Space
- Open Space Buffers
- Retention Basins and Water Features
- Bike Paths
- Pedestrian Walkways
- Open Space

Permitted Accessory Uses

- Minor Utility and Facilities Infrastructure
- Pedestrian Walkways
- Campus Roads, Auto Drives and Service Drives

- Emergency Vehicle Access
- Accessory building and uses customarily incident to the primary uses

Additional uses are permitted if determined by the Economic and Community Development Director to be consistent with the district and the purpose of the Specific Plan.

5.3 BUILDING ENVELOPE

This subsection contains two standards that together define the maximum allowable Building Area on the East and West campuses of APU. The following standards govern the building envelope including building setbacks, building frontages, and building heights for all buildings on the East and West campuses.

It should be noted that there are no plans to develop the Administrative West, an existing office building located southwest of Foothill Boulevard and Cerritos Avenue, and Alostia Place, an existing condominium units complex, located southeast of Alostia Avenue and Calera Avenue. Even though these two parcels are part of the campus, the existing developments will remain as they are.

Exhibit 5B indicates required buildings setbacks and height restrictions for the West and East campuses, respectively. Setbacks are measured from the property lines.

5.3.1 Minimum Building Setbacks

- The minimum building setback along roadway shall be the following:
 - Foothill Boulevard—twenty-two (22) feet
 - Stein Lane—fifteen (15) feet
 - Eight Street—fifteen (15) feet
 - Palm Drive—ten (10) feet

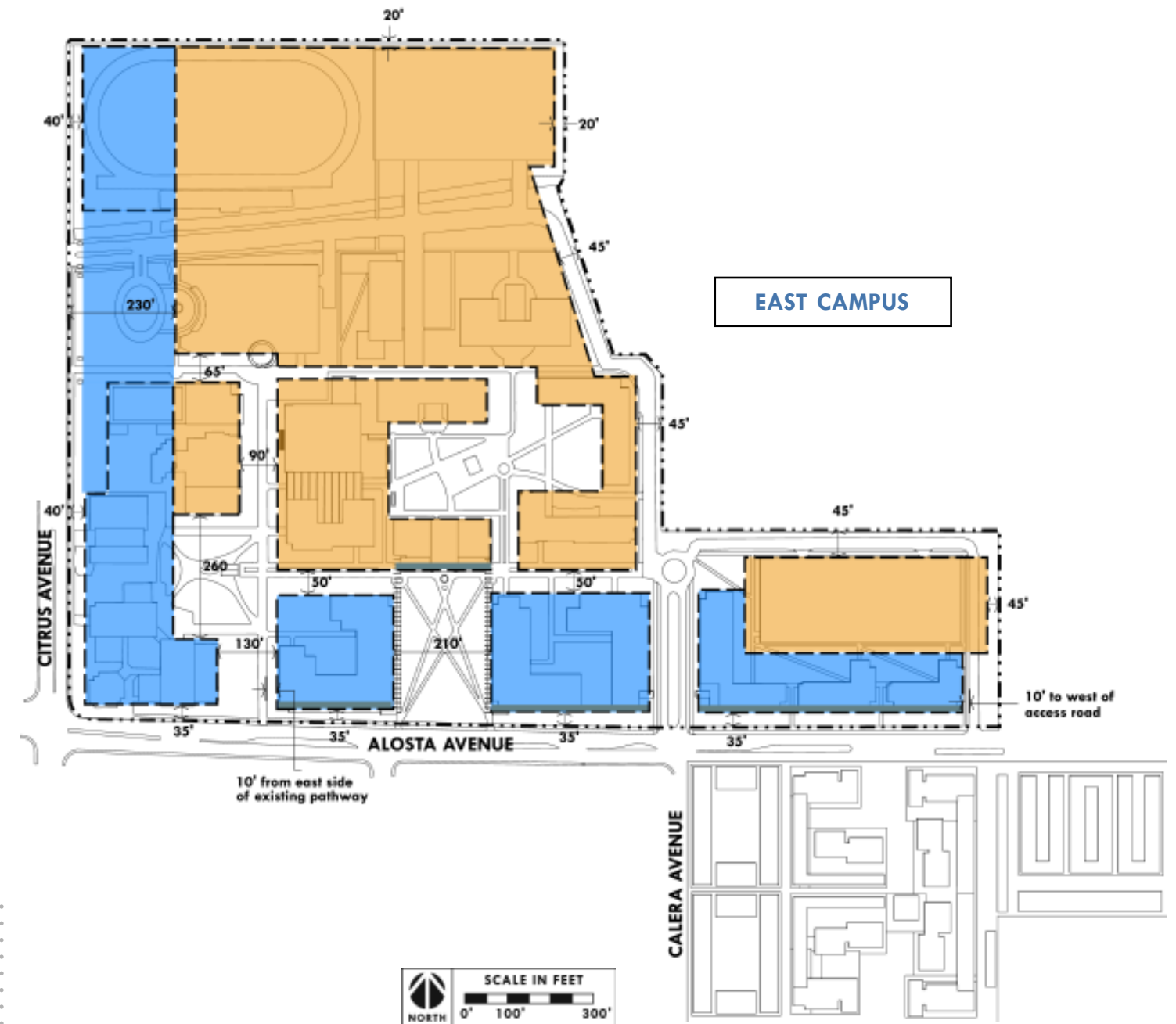
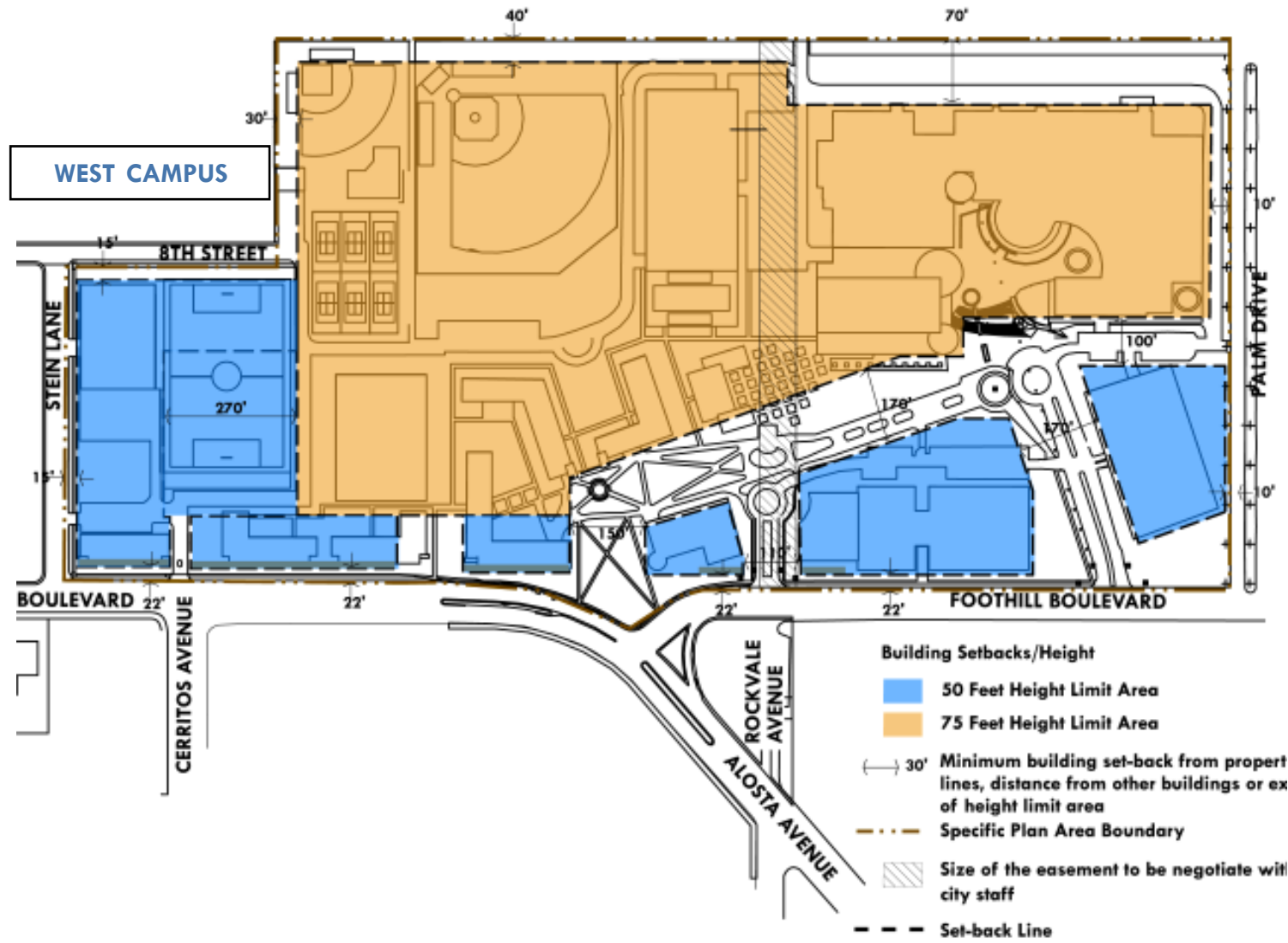


EXHIBIT 5B BUILDING HEIGHT AND SETBACK—WEST AND EAST CAMPUS

- Citrus Avenue—forty (40) feet
- Alostia Avenue—thirty-five (35) feet
- Perimeter Access Street—twenty (20) feet from the centerline of any private or perimeter access street unless required closer for fire emergency access
- Vehicle Gateway and Campus Circulation streets—forty (40) feet from the centerline of any vehicle gateway and campus circulation streets
- Side and Rear—the street side, interior, and rear setbacks shall be at least twenty (20) feet

5.3.2 Building Height

Building heights have been established to provide a lower-scaled height at boundaries between the campus and the community, and higher-scaled buildings in the campus interior. For the area within at least one hundred (100) feet from property line on any dedicated street, the maximum height for buildings is limited to fifty (50) feet. The height of buildings constructed after adoption of this Specific Plan are limited to a maximum of seventy-five (75) feet in the interior areas of the campus as shown previously on Exhibit 5B.

Features such as towers and church spires, cupola, steeples, dormers, spires, flag poles, and similar architectural elements either incorporated within a building or freestanding, are exempted from the height requirements; however, they are subject to the approval of the Economic and Community Development Director or his designee.

5.3.3 Massing

Massing for campus buildings and facilities should be sensitive to adjacent functions. Buildings adjacent to public streets shall not exceed 30 feet in height at facades facing the public street. The height can increase to that permitted in section 5.3.2 at no more than a 1:1 ratio.

5.3.4 Building Orientation and Frontage

Campus buildings should be sited to complement the existing built environment while recognizing the characteristics of the Specific Plan site. Building design should consider the following orientation factors:

- Views of the buildings and associated site from off site
- Views from the buildings and associated site to off site
- Framing of significant view area
- View windows from city streets into the campus and from the campus road system into the academic core
- Pedestrian circulation, especially the relationship to major building entrances
- Relationships of the building to the campus open space network and to building-related usable open space
- On-site vehicle and bicycle parking and circulation
- Access for service/delivery, fire and emergency, departmental, disabled, and other vehicles
- Future development on or adjacent to the site, including possible linkages
- Microclimate of the site
- Important existing features of the site, such as mature tree stands

Because of the inward orientation of campus buildings and the unique features of college campuses, the frontage requirements of the City of Azusa Development Code shall not apply. However, the community oriented retail building at the corner of Stein/Foothill shall be outward oriented with the following characteristics:

- The storefronts must face Foothill Boulevard (and possibly Stein Lane) - not away from the street
- The corner of Stein/Foothill cannot be fenced in the way other campus buildings are allowed to in the Specific Plan
- Surface parking cannot be located between the public sidewalk and the storefronts
- The front (Foothill Blvd.) setback area shall be designed as a pedestrian space containing amenities such as outdoor seating, landscaping, decorative paving, public art, or water features
- Parking for the customers of the retail uses shall be provided to the rear (north) of the building
- This building is to be included in Phase III or earlier.

5.4 OPEN SPACE

Open space is an essential component of the aesthetic and social life of the campus. Open space is located between two or more buildings, as well as between buildings and campus perimeter property lines. As discussed in Section 3, open space is defined as those spaces creating “outdoor rooms” and the network connecting these which constitutes the essential organizing framework of the campus plan.

The Specific Plan identifies five types of open space, which together comprise the University’s open space system: Campus Forming Open Space, General Open Space, Public Edge Open Space, Property Line Buffer, and Athletics. The locations of these areas are shown

in Exhibits 5C and 5D. A description of each type of open space and Standards for its development follows.

5.4.1 Campus-Forming Open Space

These areas correspond to the Land Use areas identified as “campus-forming open space” in the Proposed Land Use Plan (Exhibit 5A). The campus-forming open space areas, in concert with associated buildings, establish the basic physical organization of the campus and serves campuswide purposes. This type of open space in turn, is composed of quadrangles, plazas and lawn areas, and the connecting pedestrian spaces linking these features.

The major campus-forming open space areas shall be provided as shown in Exhibits 5C and 5D. The open

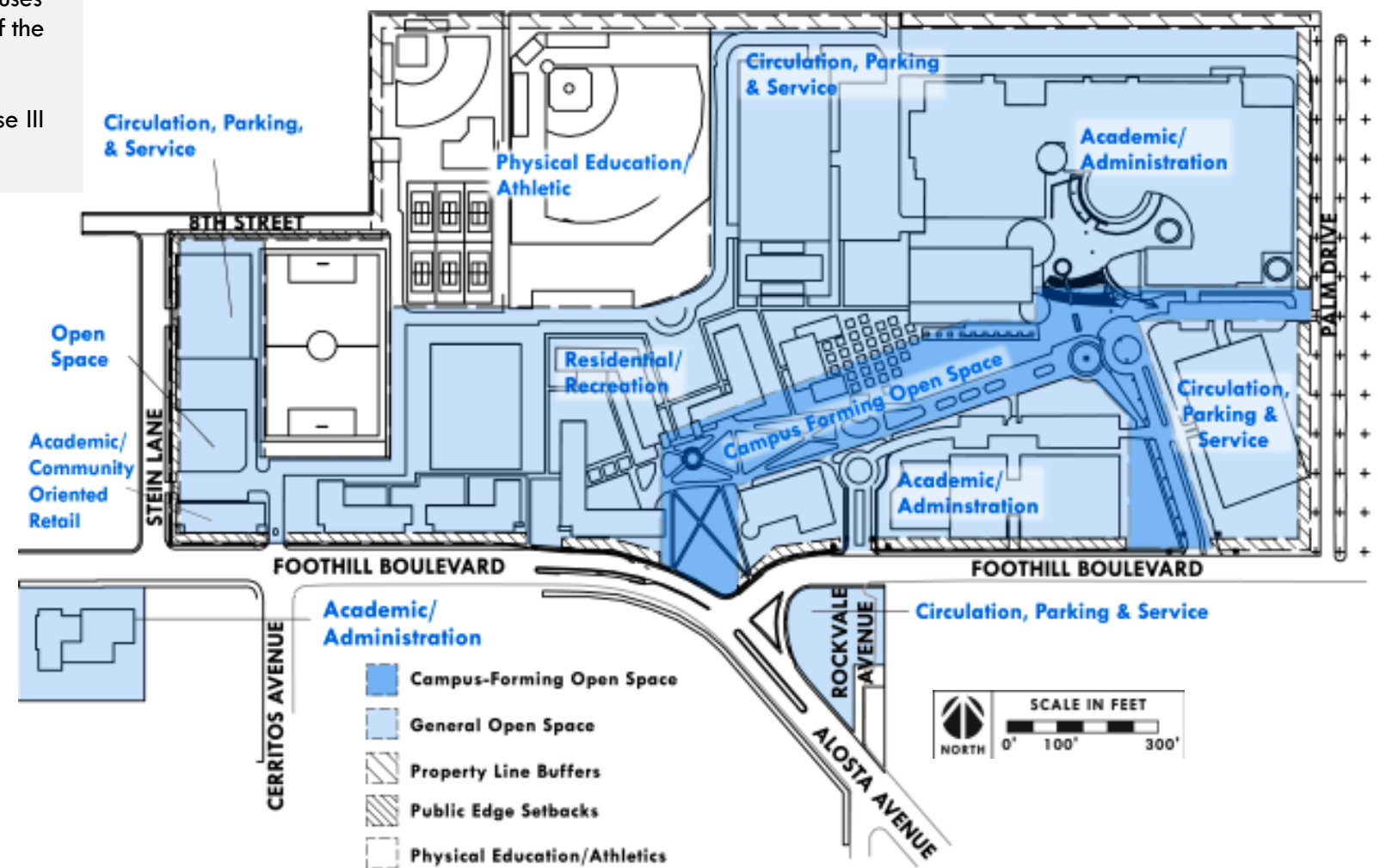
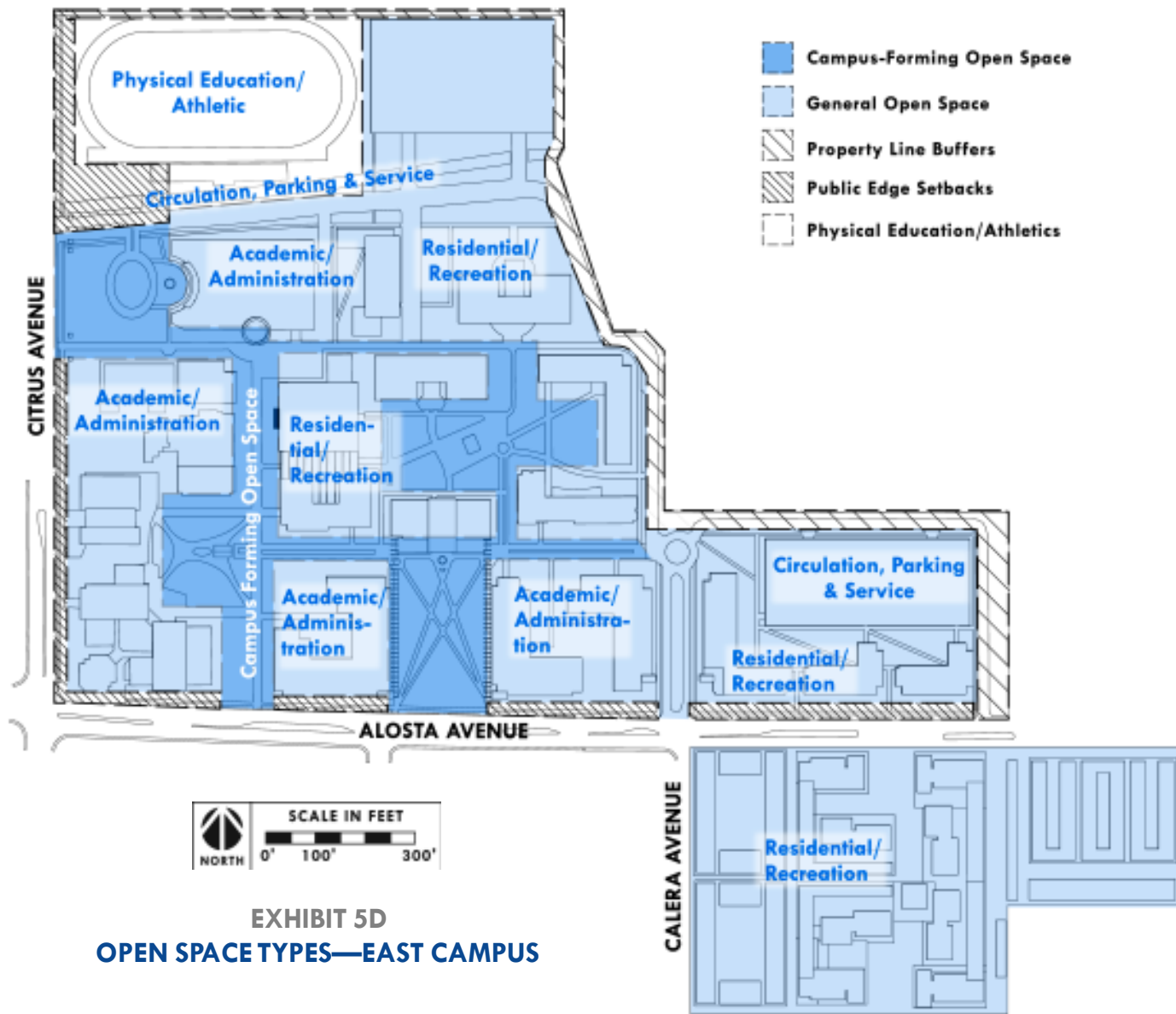


EXHIBIT 5C OPEN SPACE TYPES—WEST CAMPUS



**EXHIBIT 5D
OPEN SPACE TYPES—EAST CAMPUS**

space dimensions between buildings will be at least thirty (30) feet.

5.4.2 General Open Space

Within three of the major Land Use areas identified in the Land Use Plan—including Academic and Administration, Student Residential and Recreation, Circulation, Parking and Service—a range of open space will necessarily be needed (see also Exhibit 5A). These open spaces will include academic quadrangles, courtyards, pedestrian malls, walkways, and other landscape and hardscape areas. General Open Space shall comprise at least 30 percent of the total ground

area square footage within each of the Land Use area categories. Design guidelines for General Open Spaces are located in Section 6. Exact locations will be determined as buildings are developed in each sub area.

5.4.3 Public Edge Setbacks

These are linear open space strips at the University’s interface with major public thoroughfares, Alostia Avenue, Citrus Avenue, and Foothill Boulevard. These spaces are intended to create an attractive public edge to the campus and to relate the campus to the surrounding community. The minimum size of Public

Edge Setback spaces shall be the minimum building setback from public roadways.

Design guidelines for Public Edge Setback spaces are located in Section 6.

5.4.4 Property Line Buffers

These buffering areas are located at the boundary lines between the campus and adjacent privately-owned parcels. The buffering areas shall be at least twenty (20) feet from the property lines. Guidelines for the landscape treatment of Property Line Buffer areas are located in Section 6.

5.4.5 Physical Education/Athletics

These areas correspond to the Land Use areas identified as “Athletics” in the Land Use Plan (Exhibit 5A); these areas contain play fields and outdoor athletic facilities.

5.5 LANDSCAPE

5.5.1 Objectives

Landscaping refers to the natural and paved materials that are located within open space, surface parking, and roadway areas. The objectives of landscaping include the following:

- Unify the appearance of the East and West campuses
- Unify, accentuate and focus attention on buildings and/or various features of the campus
- Establish human scale in the pedestrian environment
- Establish comfortable micro-climates
- Minimize the visual and acoustic impacts of automobiles and parking facilities

- Soften and/or screen undesirable features in the environment
- Conserve human and natural resources
- Create a diverse and attractive assemblage of trees on both the East and West campuses
- Use trees to provide visual focal points in open space areas, to provide shade and, in general, provide a major source of campus beautification
- Provide landscaping consistent with the Water Conservation Act

In addition to these objectives, a number of landscape guidelines are located in Section 6.

5.5.2 General Standards

- All portions of the open spaces shall receive either landscape or hardscape treatments.
- Up to 35 percent of the required landscape area may be installed with hardscape materials.
- All landscape, irrigation, and hardscaping plans for individual development projects shall be coordinated with and consistent with features on the East and West Campuses and Design Guidelines.
- Where existing landscaping is retained, it shall be utilized as an integral element of the new landscape design so that there is a seamless visual and functional connection between new and existing landscaping.
- Because of the need for turf in athletic facilities and campus open space, the use of turf shall not be limited to 25 percent of the total landscaped area of the campus.

- Minimum tree sizes:
 - Entries—3 to 4-inch caliper
 - Streets / Public Edge / Property Line Buffers—3 to 4-inch caliper
 - Campus Forming/General Open Space Areas—2 to 3-inch caliper
- Landscaping design will be consultation with the manager of the university’s grounds department.

5.5.3 Landscaping of Surface Parking Lots

Notwithstanding the provisions of the City’s Development Code, the requirements for landscaping of surface parking lots shall be as follows:

- Surface parking areas shall be planted with shade trees at a ratio of a least one (1) tree for every five (5) permanent parking spaces.
- Surface parking shall be planted with spreading canopy trees that attain a 20 percent permanent parking area coverage within 5 years of installation.
- Shade trees shall be selected from the university’s tree palette.
- Surface parking areas may be required by the Economic and Community Development Director to include provisions for on-site detention of stormwater runoff; however, the university may elect to provide for groundwater recharge at other locations on campus.
- Surface parking lot paving materials may include bricks, colored and stamped concrete, grasscrete, decomposed granite, or asphalt.

5.6 FENCES AND WALLS

5.6.1 Site Perimeter

The perimeter of the campus will be open to the community except as required for security and safety. For example, areas of the APU campus that include surface parking areas that abut public streets and areas that are developed as student residences shall be fenced. Areas at the campus perimeter boundaries that abut privately owned properties shall also include a standard fence.

All fences and walls, and hedges serving similar and shielding functions as a fence or wall, shall be subject to height restrictions as identified below to be compatible with the surrounding or adjacent neighborhood. The height shall be measured from the property on which the fence, wall, or hedge is located from the finished grade.

- The Standard Fence design currently employed on campus shall be used for all

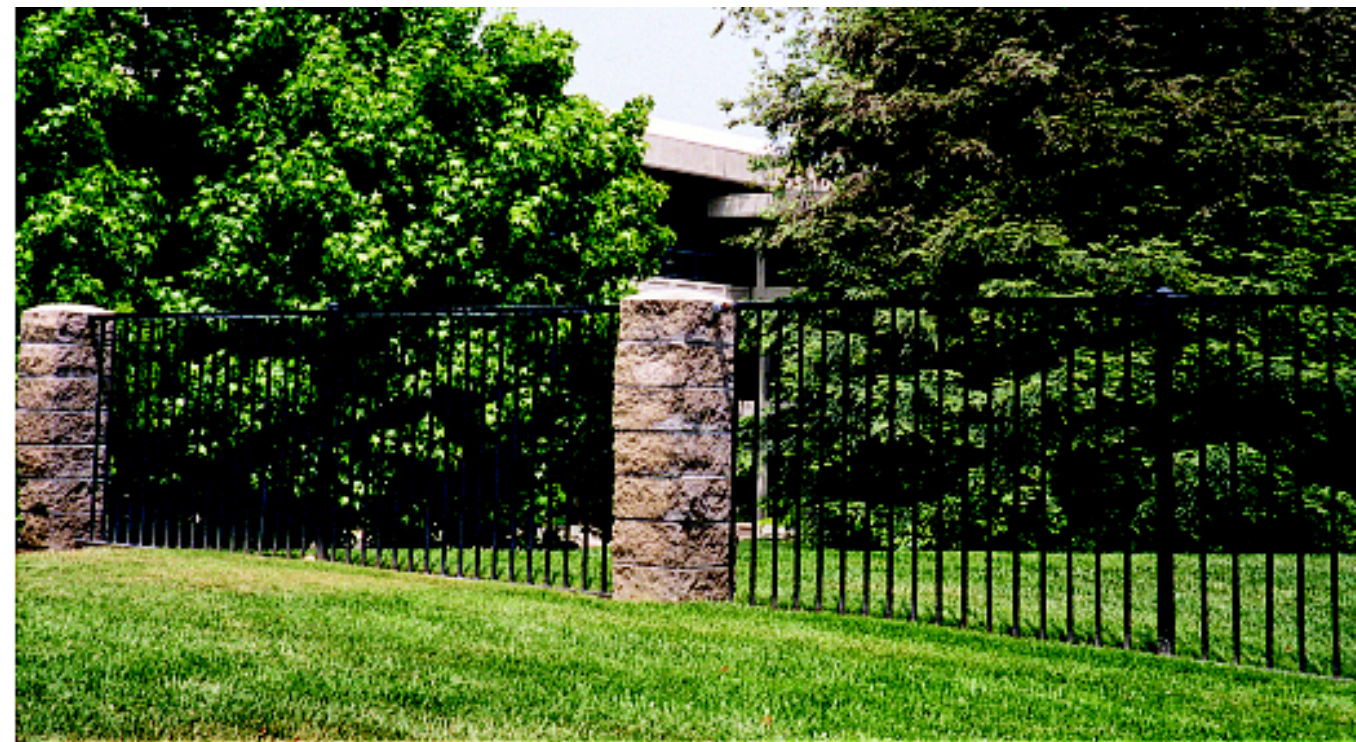
future perimeter fence installations for areas that abut public streets. This fence is five (5) feet high and composed of decorative pilasters with ornamental iron fencing.

- Solid fencing for areas that abut privately owned properties at the campus perimeter shall be a variation on the standard fencing described above. For these areas, a decorative masonry wall shall be used to provide screening; the maximum height for walls shall be six (6) feet adjacent to residential areas and eight (8) feet adjacent to nonresidential areas.
- A solid, decorative masonry fence for the campus maintenance yard at the perimeter shall be a variation of the standard fencing described above. For the campus maintenance yard, the decorative masonry fence shall be used to provide screening; the minimum height shall be six (6) feet, and there will be extensive landscaping to screen the fence that abuts the public street.

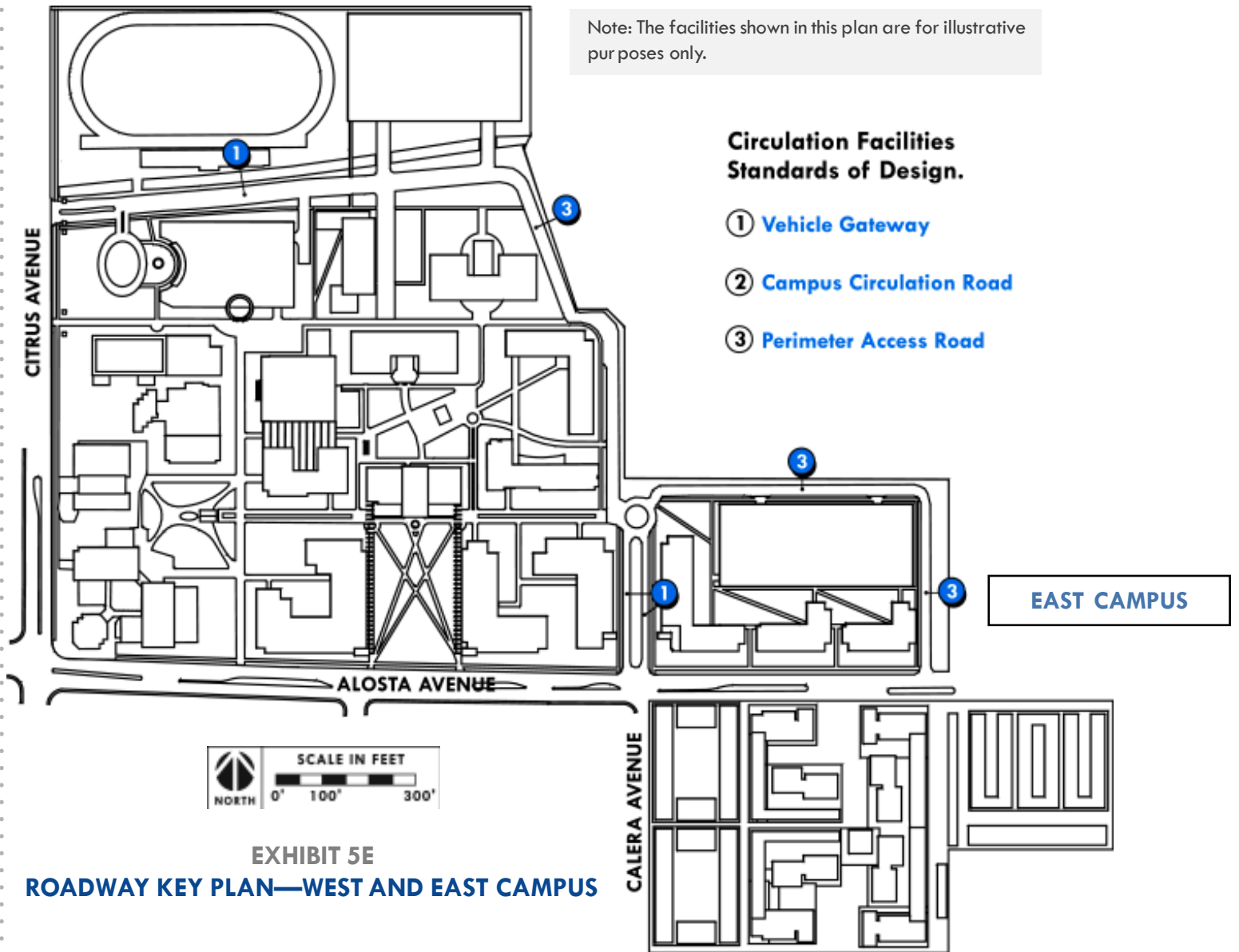
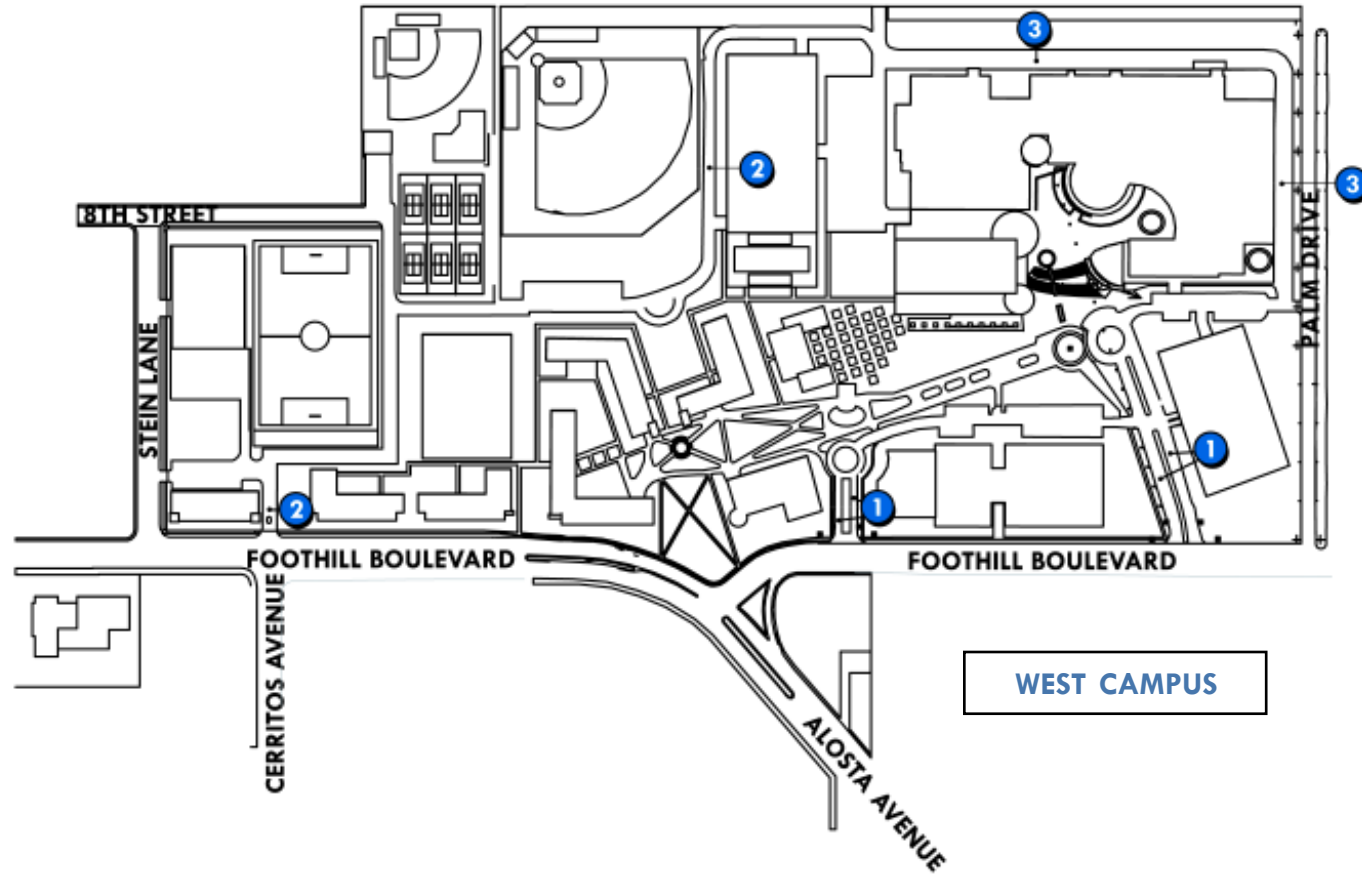
- Chain-link fence or solid wood fencing may be used around athletic facilities. For these areas where chain-link abuts a public street, there will be extensive landscaping to screen the fence. The minimum height shall be six (6) feet. Where athletic fences do not abut a public street, the fences shall not be limited in height.
- A campus pedestrian or vehicular gateway shall incorporate a variation of the standard masonry and metal fence.
- All public access roads and driveways shall incorporate clear vision triangles into their design as required by the City.

5.6.2 Fencing and Screening at Interior Site Locations

- All trash, storage, loading, service, maintenance and mechanical equipment areas in public view from within or outside the campus shall be screened by a solid masonry fence or wall of minimum height six (6) feet.
- All fences and walls within public view from within or outside the campus shall be designed to be visually compatible with other site improvements.
- Fences adjacent to buildings shall be compatible with the scale, material, and color of the adjacent building and open space landscaping and hardscaping.
- All fences and walls located on the interior of the campus shall not be limited as to height, required articulation, or required pilasters.
- Retaining walls located on the interior of the campus shall not exceed six (6) feet in height.



Perimeter fencing



5.7 CIRCULATION

5.7.1 Components of the Circulation System

The Specific Plan defines an on-campus circulation system consisting of the following components: on-campus vehicular circulation, on-campus pedestrian circulation system, on-campus service and emergency access, on-campus surface parking, on-campus structured parking, vehicular and pedestrian access points at the campus perimeter, and the University shuttle.

5.7.2 Site Access Roads and Drives

The Specific Plan incorporates the following types of internal campus roads: Vehicle Gateways, Campus Circulation Roads, and Perimeter Access/Service Roads.

- The planned location of each road type within the Campus is shown by Exhibit 5E.
- Typical roadway Sections and their associated minimum allowable dimensions are indicated by Exhibit 5F. These section drawings also show minimum allowable dimensions for pedestrian pathways adjacent to campus roadways, as well as minimum allowable dimensions for landscape strips, parkways, or medians along campus roadways.

5.7.3 Parking

The Specific Plan incorporates the following three types of parking facilities: surface parking in parking lots, parking within parking structures, and short-term parking on some internal campus streets. The locations

EXHIBIT 5E
ROADWAY KEY PLAN—WEST AND EAST CAMPUS

of parking structures and surface parking lots are shown in Exhibit 4F. The parking standards used as the basis of this plan are as follows:

- All parking by faculty, staff, and students shall be accommodated on the campus and/or in off-site facilities. Spaces meeting requirements of this Specific Plan may not be located on public streets. The University will enter into a contractual agreement to provide a number of off-site parking spaces if additional parking spaces are required.

- The APU Specific Plan uses the proposed Azusa City Development Code parking regulation to determine the proposed parking supply for Azusa Pacific University Specific Plan. The proposed Azusa City Development Code requires one parking space for each employee, plus one space for each five students. At full buildout, APU Specific Plan is projected to provide 1,391 parking spaces for the University's faculty and staff, and 1,697 parking for its students (3,088 total). Each October, the City of Azusa Economic and Community

Development Director will receive the official number of undergraduate and graduate students from the University's records and verification from the University regarding the number and location of parking spaces on the campuses to accommodate the student enrollment.

- The parking management plan for Azusa Pacific University includes a parking requirement analysis for the campus reflecting projected increases in students and staff/faculty through Year 2022-23. The parking requirement for APU in Year 2022-23 based on the City of Azusa Development Code is 3,088 spaces. The parking management plan also includes a description of the future parking plan for the campus as part of the Azusa Pacific University Specific Plan. The parking plan provides a total supply of 4,657 spaces, 2,767 on the east campus and 1,890 spaces on the west campus. It can be seen the proposed campus parking supply of 4,657 spaces would result in a surplus supply of over 1,500 spaces over the projected requirement. The University is prepared to construct sufficient parking supply to ensure that the total number of spaces exceeds the City requirement of 3,088 up to a total of 4,657 spaces.

- Motorcycle parking places shall be provided at a ratio of one space for each 300 automobile parking spaces.
- Any parking structure adjacent to a public street shall incorporate design elements and treatments along the perimeter that break the garage into smaller, human-scaled façades. University and office uses are encouraged at the ground floor of parking structures. The parking structure should be architecturally compatible with the buildings they serve and include landscaping improvements that enhance their appearance.
- The University shall not be required to provide funding for shared parking, nor will its property be used for a shared parking facility. The University shall have sole control over parking on its property so that it may adequately provide parking for its students, visitors, faculty, and staff.
- Transitional surface parking may be developed prior to the final use as designated in the final Land Use Plan.

Transition surface parking lots shall be compliance with the following:

1. Lots shall be paved and drained as specified by the City Engineer.

2. Lots shall be provided with marked entrances, exits, and aisles and such other safety devices as may be required to ensure safe movement of vehicles and pedestrians.
3. Lots shall have lights arranged so that the lights are directed onto the parking area and away from any adjacent property.
4. Five (5) percent of the interior parking area shall be landscaped with 2-inch caliper, full canopy shade trees at one tree per five spaces.
5. Five (5)-foot-wide planting area shall be required along the perimeter of the parking area with trees and shrubs maintained high enough to screen cars and headlights from street.

5.8 SERVICE AND MECHANICAL EQUIPMENT

The proposed Development Plan includes a Central Facilities Maintenance building with an adjacent Maintenance Yard on the West Campus. Maintenance vehicles and equipment will be housed in this facility. Additional standards are as follows:

- All sides of the Central Facilities Maintenance building and yard as well as other service and mechanical service areas shall be designed, treated, and finished in a manner compatible with the surrounding campus and the adjacent neighborhood.
- Separate trash collection areas shall be developed for student residential areas and general campus trash collection.
- All trash collection areas within the Specific Plan Area shall be fully enclosed by a masonry structure of minimum height of six (6) feet with an opaque fence. All refuse containers shall be located with trash enclosures.
- All service and mechanical equipment shall be fully screened from public view.

5.9 LIGHTING

Lighting shall be placed to direct and control glare, obtrusive light, and upward directed, wasted light.

- All light fixtures are to be concealed source/full cut-off fixtures except for pedestrian-oriented lights.
- Light standards in parking areas shall not exceed 20 feet in height.
- Lighting shall provide a minimum average of one foot-candle in parking lots and in pedestrian areas.
- Parking lot lights shall meet City standards and shall be consistent throughout the development.
- Lights in parking areas shall be mounted on three-foot high concrete bases only if they are stand-alone fixtures.

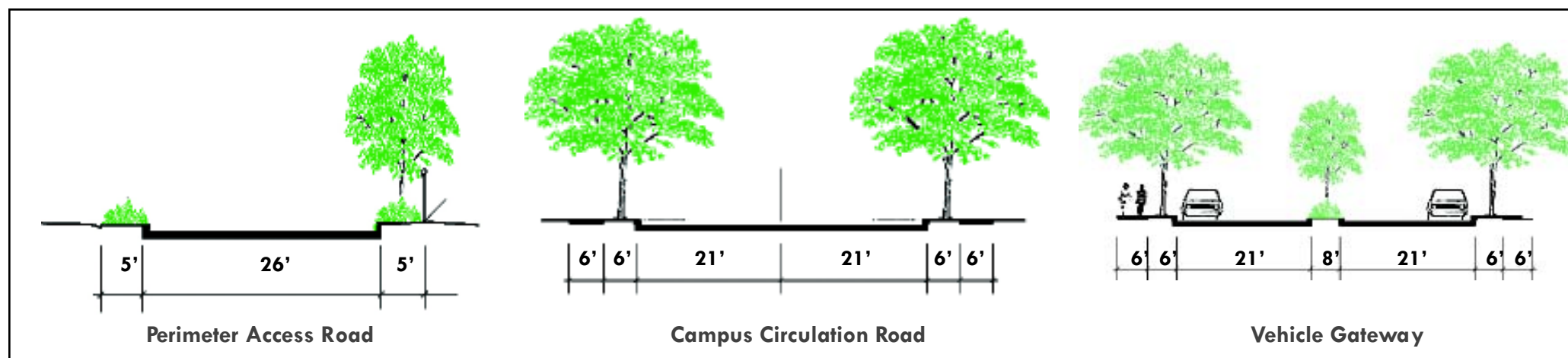


EXHIBIT 5F ROADWAY SECTIONS

- Lights in parking lots shall not be co-located with trees in planters where they impede lighting. The lighting and landscape plan must be fully integrated and coordinated.
- The site plans developed for the project shall incorporate street lighting that illuminates pedestrian pathways.
- Fifteen foot maximum height pedestrian lights shall be provided along pedestrian and bicycle ways.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover shall occur outside the service area. The light source shall not be visible from any streets and residences.
- Building illumination and architectural lighting for all structures shall be indirect.
- Architectural lighting should articulate the building design as well as provide functional lighting for the safety of pedestrian movement.
- The use of low-level lighting to enhance the architecture, landscape, or other features is encouraged.
- Security lighting fixtures shall not project above the fascia or roofline of the building and are to be shielded. The shields shall be painted to match the surface to which they are attached. Security lighting fixtures are not to be substituted for parking lot or walkway lighting fixtures and are not restricted to lighting only loading and storage locations or other similar service areas. All security lighting designs shall be fully shielded (full cut-off).
- Strings of white or clear lights shall be allowed on trees and as accents for

- building details and for holiday decorations.
- Colored lights may be used for holiday decorations.

5.10 SIGNAGE

The design of new signage visible from public streets shall be consistent with APU's current signage system, as defined in Section 6, and shall comply with the following standards:

- **Wall Sign**—One sign per building or facility per frontage. Maximum area for attached signs is one (1) square foot per linear foot of frontage. Sign face may not project more than fourteen (14) inches from the wall surface. Named buildings are identified with cast metal letters with internal lighting when applicable. A wall sign may be located a minimum of one (1) foot below the top of the wall and one (1) foot from the corner of the building.
- **Freestanding or Marquee Sign**—One freestanding or marquee sign shall be permitted per campus. Maximum area of two (2) square feet per one (1) linear foot on frontage, but in no event shall the



APU entry signage

maximum area of any one sign exceed three hundred (300) square feet. Maximum sign height shall be the same as the maximum building height for the zone in which the sign is to be placed. The University shall have a master signage plan and all signs have to be in compliance with the signage plan. The existing Foothill Drive-in marquee shall be permitted to remain; and shall be used for University and City announcements, with no advertising of commercial entities/products.

- **Stadium Sign**—One sign for the stadium. Maximum area is two (2) square feet per one (1) linear foot on frontage, but in no event shall the maximum area of any one sign exceed three hundred (300) square feet. Maximum sign height shall be 30 feet.
- **Monument Sign**—Additional monument signs shall be permitted for each street frontage. Maximum area of two (2) square feet per one (1) linear foot of building frontage, but in no event shall the maximum area of any one sign exceed one hundred (100) square feet. Maximum height is ten (10) feet for monument sign, which signifies entry to campus.

- **Campus Directory Sign**—Campus maps shown relative to the visitor's and directory's position on campus. Include list of all buildings, all schools, and primary customer service areas. Maximum area and height are sixteen (16) square feet and ten (10) feet, respectively.
- **Directional Signs**—Vehicular Directional Signs are located just inside campus entrances. Include most prominent campus locations. Pedestrian Directional Signs are located on pedestrian walkways throughout campuses. Maximum area and height are sixteen (16) square feet and ten (10) feet, respectively.
- **Location Signs**—Signs at the entrances that identify current tenants (customer service areas). Weather exposed: Vinyl adhesive lettering on aluminum plaques or glass storefront doors.
- **Illumination**—Only external or backlit illumination permitted.
- **Design**—The design of signs shall utilize the standard University font (Helvetica), color, and logo.
- **Interior Campus**—Signage facing the interior of the campus is not limited in size, height, or design.

5.11 SUMMARY

The following summarizes the development standards.

TABLE 5A APU SPECIFIC PLAN DEVELOPMENT STANDARDS TABLE (CONTINUED)

Element	Description
Building Height	For the area within at least 100 feet setback—50 feet In the interior areas of the campus beyond the 100 feet setback—75 feet Features such as towers, and church spires, and similar architectural feature either incorporated within a building or freestanding are exempted from the height requirements; however, they are subject to approval of the Economic and Community Development Director or his designee.
Front Yard Setback	Foothill Boulevard—22 feet Stein Lane—15 feet Eight Street—15 feet Palm Drive—10 feet Citrus Avenue—40 feet Alosta Avenue—35 feet Non-dedicated street unless required closer for fire emergency access
Side yard Setback Street side and adjacent property Interior side yard setback	20 feet
Rear yard Setback Interior or street side Abutting residential zone district	20 feet
Maximum Floor Area Ratio	N/A
Maximum Lot Coverage	60 percent
Distance between Buildings	As required by the Fire Code
Building Massing	Buildings shall not exceed 30 feet in height at facades facing property lines or major pedestrian pathways. The height can increase to that permitted at no more than 1:1 ratio.
Walls and Fences	Perimeter Walls and Fences —A maximum of 5 feet in height. Standard Fence Design decorative plasters with wrought iron fencing.

TABLE 5A APU SPECIFIC PLAN DEVELOPMENT STANDARDS TABLE (CONTINUED)

Element	Description
Walls and Fences (continued)	Setback —A minimum of 2 feet from the back of the public sidewalk. Fencing Abutting Privately Owned Properties —Solid fencing using a variation on the standard fencing design described above; a decorative masonry wall can be used to provide screening and the height for walls shall be 6 feet adjacent to residential areas and 8 feet adjacent to nonresidential areas. Athletic Fields and Facilities —Chain-link fence or solid wood fencing; minimum 6 feet in height; for those athletic fields abutting a public street, heavily landscape area between the chain-link fence and the street. Campus Gateways —Incorporate a variation of the standard masonry and metal fence. Fencing and Screening at Interior Site Locations —Required for all trash, storage, loading, service, maintenance, and mechanical equipment areas and screen by solid masonry or wall of minimum 6 feet in height; visually compatible with scale, material, and color of the adjacent building and landscaping and hardscaping improvements.
Parking	All parking shall be accommodated on the campus and/or in off-site facilities and the number of parking spaces will be determined by Azusa City Development Code parking regulations. The City of Azusa's Economic and Community Development Director will receive each October the official number of undergraduate and graduate students from the University's record, the number of faculty and staff, and verification from the University regarding the number and location of parking spaces on the campuses to accommodate the student enrollment, faculty, and staff.
Access Roads and Drives/Parking Standards	Perimeter Access Roads —Perimeter access roads shall be a total of 36 feet wide, with 5 feet on either side for landscaping.

TABLE 5A APU SPECIFIC PLAN DEVELOPMENT STANDARDS TABLE (CONTINUED)

Element	Description
Access Roads and Drives/Parking Standards (continued)	<p>Campus Circulation Roads—Campus circulation roads shall be a total of 66 feet wide, with 21 feet of driveway space in either direction, and 12 feet on both sides of the perimeter for 6 feet of landscaping and 6 feet of sidewalk space.</p> <p>Gateways—Vehicle gateways shall be a total of 72 feet wide, with 8 feet on landscaping in the middle, 20 feet in either direction for driveway space, and 12 feet on both sides of the perimeter for 6 feet of landscaping and 6 feet of sidewalk space.</p>
Landscaping of Parking Lot	<p>All landscaping on surface parking lots shall meet or exceed the City of Azusa landscaping requirements for parking lots.</p> <p>Surface parking areas shall be planted with shade trees at a ratio of at least one tree for every five cars.</p> <p>Surface parking shall be planted with spreading canopy trees that attain a 20 percent parking area coverage within 5 years of installation.</p> <p>Trees shall be spaced 22 to 25 feet on center to provide a continuous canopy.</p>
Signs	<p>Wall Sign—One sign per building/facility per frontage. Area for attached sign, maximum area of 1 square foot per linear foot of frontage. Sign face may not project more than 14 inches from the wall surface.</p> <p>Freestanding or Marquee Sign—One freestanding or marquee sign shall be permitted per campus. Area—maximum of 2 square feet per 1 linear foot on frontage, but in no event shall the maximum area of any one sign exceed 300 square feet. Height—maximum sign height shall be the same as the maximum building height for the zone in which the sign is to be placed. The existing Foothill Drive-in marquee will be retained and used for University and City announcements, with no advertising of commercial entities/products.</p>

TABLE 5A APU SPECIFIC PLAN DEVELOPMENT STANDARDS TABLE (CONTINUED)

Element	Description
Signs (continued)	<p>Stadium Sign—One sign for each athletic venue plus an appropriately sized sign for viewing by players and spectators. Area—maximum of 2 square feet per 1 linear foot on frontage, but in no event shall the maximum area of any one sign exceed 300 square feet. Height—maximum sign height shall be the same as the maximum building height for the zone in which the sign is to be placed. The athletics logo will be a part of the design.</p> <p>Monument Sign—Additional monument signs shall be permitted for each street frontage. Area—Maximum of 2 square feet per 1 linear foot of building frontage, but in no event shall the maximum area of any one sign exceed 100 square feet. Height—Maximum 10 feet. Signify entry to campus. Fonts—Helvetica Black and Helvetica Black Oblique—signage seen from off campus; Helvetica Bold—signage seen from on campus.</p> <p>Campus Directory Sign—Campus maps shown relative to the visitor's and directory's position on campus. Include list of all buildings, all schools, and primary customer service areas. Area and Height—16 square feet and 10 feet.</p> <p>Directional Signs—Located inside campus entrances. Include most prominent campus locations. Pedestrian Directional Signs are located on pedestrian walkways throughout campuses. Area and Height—16 square feet and 10 feet.</p> <p>Location Signs—Signs at the entrances that identify building or current tenants. Weather exposed.</p> <p>Lighting—Only external or backlit illumination..</p>
Landscaping/Open Space Areas	<p>Open space dimensions between buildings will be at least 30 feet.</p> <p>General open space shall comprise at least 30 percent of the total ground area square footage within each of the Land Use area categories.</p>

TABLE 5A APU SPECIFIC PLAN DEVELOPMENT STANDARDS TABLE (CONTINUED)

<i>Element</i>	<i>Description</i>
Landscaping/Open Space Areas (continued)	<p>All portions of the open spaces shall receive either landscape or hardscape treatment.</p> <p>Up to 35 percent of the required landscape area may be installed with hardscape materials.</p> <p>All landscape, irrigation, and hardscaping plans for individual development projects shall be coordinated with consistent with features on the East and West Campuses.</p> <p>Where existing landscaping is retained, it shall be utilized as an integral element of the new landscape design so that there is a seamless visual and functional connection between new and existing landscaping.</p> <p>Minimum tree sizes: Entries—3- to 4-inch caliper Street/Public Edge/Property Line Buffer—3- to 4-inch caliper Campus Forming/General Open Space Areas—2- to 3-inch caliper</p> <p>Surface Parking Area—At least one tree for every five permanent parking spaces; planted with spreading canopy trees that attain a 20 percent permanent parking area coverage within five years of installation.</p>
Lighting	All exterior lighting shall be designed, oriented, and constructed to shield adjacent properties from adverse glare effects. Landscaping may be used to help shield the glare from the exterior lighting where possible.
General Design Principles	All buildings, structures, and landscaping will be developed, consistently with the Section 6 Design Guidelines.
Trash Enclosures / Fences and Screening at Interior Site Locations	<p>Trash enclosures shall be provided for any development in the campuses. All refuse containers shall be located within trash enclosures.</p> <p>All trash enclosures shall consist of a three-sided solid masonry structure of a minimum height 6 feet, enclosed on the open side by an opaque gate.</p>

TABLE 5A APU SPECIFIC PLAN DEVELOPMENT STANDARDS TABLE (CONTINUED)

<i>Element</i>	<i>Description</i>
Trash Enclosures / Fences and Screening at Interior Site Locations (continued)	The trash enclosures' structures, fences, and/or walls within public view from within or outside the campus shall be designed and landscape to be visually compatible with other site improvements.
Service and Mechanical Equipment / Facilities Maintenance and Storage Yards	<p>All service and mechanical equipment shall be fully screened from public view from within or outside the campus.</p> <p>All sides of the facilities maintenance buildings and yards shall be designed, treated, and finished in a manner compatible with the surrounding campus and adjacent neighborhood.</p>
Corner Cut-Off	As required by the City.
Clear-Sight Distance at Driveways Required	As required by the City.
Property Maintenance	All properties within the University shall be kept and maintained in a clean, neat, orderly, operable, and usable condition. This requirement applies to buildings, paving, fences, walls, landscaping, water, earth, and any other structures or natural features.
General Design Compatibility	Any new building or structure, any addition to an existing building or structure, and installation or construction of any site improvements shall be designed to create a unified functional and comprehensive site plan and shall be consistent with the design guidelines set forth in Section 6 of the APU Specific Plan. The improvements shall have an integrated architectural theme that is compatible with and will complement and enhance the subject and surrounding properties.
Outdoor Storage and Display	<p>No outdoor storage or display shall be permitted within any front yard setback area.</p> <p>All outdoor storage shall be fully screened from public view by a minimum 6-foot-high block wall or opaque fencing material.</p> <p>No materials stored or displayed outdoors shall exceed a height of 6 feet; and no outside storage shall encroach into required parking spaces, or driveway ailes.</p>



Azusa Pacific University: Trinity Hall